

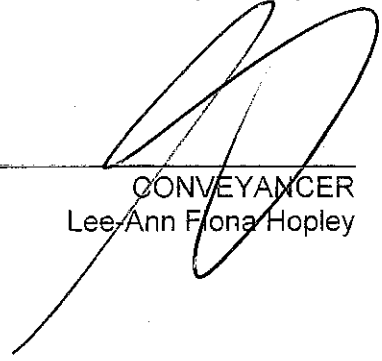
41

Edward Nathan Sonnenbergs Inc.
PO Box 2293
Cape Town
8000

Prepared by me

R 3990 539,22.

FEE
R 1100,00.



CONVEYANCER
Lee Ann Fiona Hopley

DATA / VERIFY
18 JUN 2014
OLIVIER YOLANDI

T 000028030 / 2014

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

ANTON LUTHER POSTHUMUS

appeared before me, REGISTRAR OF DEEDS at Cape Town, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at CAPE TOWN on 4 FEBRUARY 2014 granted to him by

DECIDE WISE TWENTY CC

Registration Number 1999/054366/23

Herein represented by ANDRION GOUWS, duly authorized and in his capacity as an official of THE STANDARD BANK OF SOUTH AFRICA

Registration Number 1962/000738/06 duly authorized thereto in terms of a Special Power of Attorney signed at Cape Town on 30 August 2013 granted to it in terms of a resolution of the members



DATA / CAPTURE
11 JUN 2014
LEEUID

GhostConvey 14.12.2.1

And the appearer declared that his said principal had, on 18 December 2013, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

KAOLIN GROUP PROPRIETARY LIMITED
Registration Number 2007/014039/07

or its Successors in Title or assigns, in full and free property

PORTION 157 OF FARM NO 1183
IN THE CITY OF CAPE TOWN
CAPE DIVISION, WESTERN CAPE PROVINCE

IN EXTENT 1,3462 (ONE COMMA THREE FOUR SIX TWO) Hectares

FIRST REGISTERED by Certificate of Consolidated Title number T61046/1996 with Diagram Number 4599/1990 relating thereto and held by Deed of Transfer Number T11358/2000.


A INsofar as concerns the land depicted by the figure AxyF on Diagram Number 4599/1990 annexed to Certificate of Consolidated Title Number T61046/1996:

(a) Subject to the conditions referred to in Deeds of Transfer Nos T3801/1898 and T3802/1898.

(b) Subject to the following conditions contained in Certificate of Registered Title Number T41921/1982 imposed by the Administrator of the Province of the Cape of Good Hope when approving the subdivision of the land of which the property hereby transferred forms part in terms of Section 9 of Ordinance No 33 of 1934, as amended:-

1. The owner of this erf shall, without compensation, be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or erven inside or outside this township to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.

2. The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.



- (c) SUBJECT to the following condition contained in Deed of Transfer Number T54739/1989 imposed by the Regional Services Council for the Cape Metropole and Surrounding Areas established by Provincial Notice No 4 of 1987 for the benefit of the said Council:-

The owner of this erf shall, without compensation, be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or erven inside or outside this township to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.

- B INsofar as concerns the land depicted by figure xBCzDey on Diagram No. 4599/1990 annexed to Certificate of Consolidated Title Number T61046/1996:

- (a) Subject to the conditions referred to in Deeds of Transfer Nos T3801/1898 and T3802/1898.
- (b) Subject to the conditions contained in Certificate of Registered Title No T41921/1982 imposed by the Administrator of the Province of the Cape of Good Hope when approving the subdivision of the land of which the property hereby transferred forms part, in terms of Section 9 of Ordinance No 33 of 1934, as amended, which conditions are more fully set forth under Paragraph A (b) above.
- (c) Subject to the condition contained in Deed of Transfer Number T61044/1996 imposed by the Transitional Metropolitan Substructure Atlantis for the benefit of the said Substructure, which condition is more fully set forth under Paragraph A (c) above.

- C INsofar as concerns the whole property:-

ENTITLED, by Deed of Transfer Number T11357/2000, to the benefit of the following conditions imposed for the benefit of the Transferor and/or its successors in title as owner of the property hereby transferred, over Portion 147 (portion of Portion 4) of the Farm 1183 in the Cape Division, measuring 2000 square meters, thereby transferred, namely:

- a) The property shall not be used for any purpose other than as a crèche, nursery school or childcare centre without the Transferor's consent in writing; and
- b) Should the property at any time cease to be used as a crèche, nursery school or childcare centre for a period of thirty days, ownership of the property shall at the option of the Transferor revert and be transferred to the Transferor at the Transferee's expense.

WHEREFORE the said Appearer, renouncing all right and title which the said
DECIDE WISE TWENTY CC
Registration Number 1999/054366/23

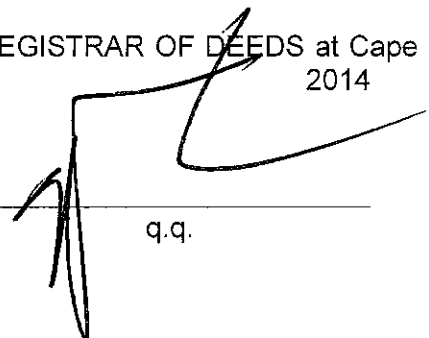
heretofore had to the premises, did in consequence also acknowledge it to be entirely
dispossessed of, and disentitled to the same, and that by virtue of these presents, the
said

KAOLIN GROUP PROPRIETARY LIMITED
Registration Number 2007/014039/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto,
conformably to local custom, the State, however reserving its rights, and finally
acknowledging the purchase price to be the sum of R3 990 539,22 (THREE MILLION
NINE HUNDRED AND NINETY THOUSAND FIVE HUNDRED AND THIRTY NINE
RAND AND TWENTY TWO CENTS).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have
subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at Cape
Town on 2014-06-04 2014



q.q.

In my presence



REGISTRAR OF DEEDS

